

LBV PROPERTY OWNERS' ASSOCIATION, INC
Architectural Committee RULES (Commence Date, Form Survey, Checklist)
Effective 19 September 2014

LBV Development LLC filed a Declaration of Covenants, Conditions and Restrictions for La Buena Vida dated May 26, 2004 (the "Declaration") as document number 264992 in the Official Public Records of Aransas County, Texas.

Section 5.4 of said Declaration provides that the Architectural Committee may adopt procedural and substantive rules and guidelines.

The Architectural Committee has adopted the following:

Commence Construction Date Rule

Form Survey Rule

Pre-Construction - Submittal Requirements Checklist

Construction Commencement Date Rule (refer to Article 5.6)

Owner must Commence Construction of the approved single family dwelling within four (4) months of the official Approval of the Plans. If construction fails to start before the commencement date, the plans shall be deemed not approved.

Commencement Date is defined as the setting of piers, or starting the slab. It is not placing stakes.

Form Survey Rule (refer to Article 5.5)

Owner must submit a "FORM SURVEY" prior to the foundation pour at least five (5) days prior to foundation pour. Form Survey must display property lines, setback building lines, and the slab foundation location. The Architectural Committee or its agent shall have the right to enter the Lot to determine if the setback requirements conform to the Restrictions, and the approved Plans. Construction is not authorized to continue until the Architectural Committee has approved the Form Survey in writing.

Pre-Construction - Submittal Requirements Checklist (refer to Article 5.5)

The attached Requirements Checklist has been approved to assist the Lot Owner with submitting Plans for approval. Additional items may be requested as deemed necessary by the Architectural Committee prior to approval.

(Pre-Construction - Submittal Requirement Checklist on next page)

The following must be submitted to the Architectural Committee:

- Two (2) complete sets of Plans
- Specification of materials and colors to be used
- Construction Deposit of \$1000 payable to LBV Property Owners Association, Inc.

The following information must be included on/with the Plans:

- Legal Description / Street Address
- North Arrow
- Finished floor and roof ridge height elevation
- Total Square Footage of air conditioned living area, exclusive of porches & garages
- Site plan with Building Footprint & Setback lines shown and dimensioned
- Plans and specifications for walkways, driveways, fencing, walls, pergola, pool and other proposed improvements

The following material samples/examples are required: (Color Brochure is allowable)

- Roof Material – example & color
- Masonry/Stucco – example & color
- Trim – example & color
- Fence and/or Walls – material specifications (and finish color if applicable)
- Dock – material specifications (and finish color if applicable)

Once Plans and Specification have been approved:

- Construction must commence within 4 months of approval date, or approval is revoked.
- A Forms Survey is required prior to foundation pour. This must be submitted to the Architectural Committee at least five (5) days prior to foundation pour.
- Any changes or revisions to the Approved Plans and/or Specifications must be submitted for approval.
- Boat dock, swimming pool, fence, pergola and other improvements not indicated on the plans must be approved prior to construction.
- Landscaping must include at least 6 palm trees (minimum 4" diameter / 10' trunk height). Each home must display the street address.
- Owner must insure that the construction site is kept clean of debris, with weeds mowed to no greater than 12" in height at all times.

Submit plans and material examples to:

LBV Architectural Committee Chairperson

or

Johnson & Cate, 2602 HWY 35 N, Rockport, TX 78382

Property Owner:

Name: _____
Address: _____
Email: _____
Phone: _____

Builder:

Name: _____
Address: _____
Email: _____
Phone: _____

Project Street Address/ Lot #: _____

The Architectural Committee will review and make a ruling within 30 days after all required items have been submitted.
Physical site inspections to assure compliance with the approved plans may be performed by members of the Architectural Committee.

CERTIFICATION

"I, the undersigned, being the Chairman of La Buena Vida Property Owners Association, Inc. Architectural Committee, hereby certify that the foregoing Resolution was adopted by at least a majority of the La Buena Vida Property Owners' Association Architectural Committee on 19 September 2014."

William R. Hunter, Jr.
William R. Hunter, Jr.
Chairman, LBV Architectural Committee

THE STATE OF Texas

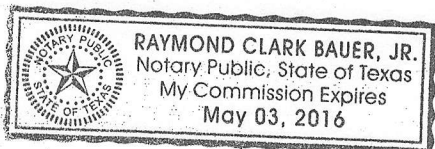
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COUNTY OF Aransas

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This instrument was acknowledged before me on the 8th day of October, 2014, by William R. Hunter, Jr., Chairman of LBV Architectural Committee on behalf of said Association.



Raymond Bauer Jr.
Notary Public, State of TX
My Commission expires: 5/3/16

✓ AFTER FILING, RETURN TO:
Jeanne Hunter
Secretary, LBV Property Owners' Association, Inc.
19 La Buena Vida Drive, Aransas Pass, TX 78336

337901

File No. _____
County Clerk, Aransas County, Texas

STATE OF TEXAS
COUNTY OF ARANSAS

I hereby certify that this instrument was FILED on the date
and at the time affixed hereon by me and was duly
RECORDED in the OFFICIAL PUBLIC RECORDS of ARANSAS
COUNTY, TX. as stamped hereon by me on 10-8-14



Peggy L. Friebele
PEGGY L. FRIEBELE, COUNTY CLERK
ARANSAS COUNTY, TEXAS

SCANNED

FILED FOR RECORD IN OPR
AT 2:11 P. M.

INDEXED

OCT 08 2014

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PEGGY L. FRIEBELE, COUNTY CLERK
ARANSAS COUNTY, TEXAS

Filed By ÷ Return to: ✓

Jeanne Hunter